

Project Area

Proctor Valley Village 14

Site Plan

Modeled Receiver Locations

Land Use

Single Family Residential

Townhomes

Courtyard Homes

Mixed Use

Public Safety

Elementary School

Grading

Major Circulation

Private Park

Public Park

HOA Open Space

Open Space Basin

Otay Ranch RMP Preserve

05501100

Feet

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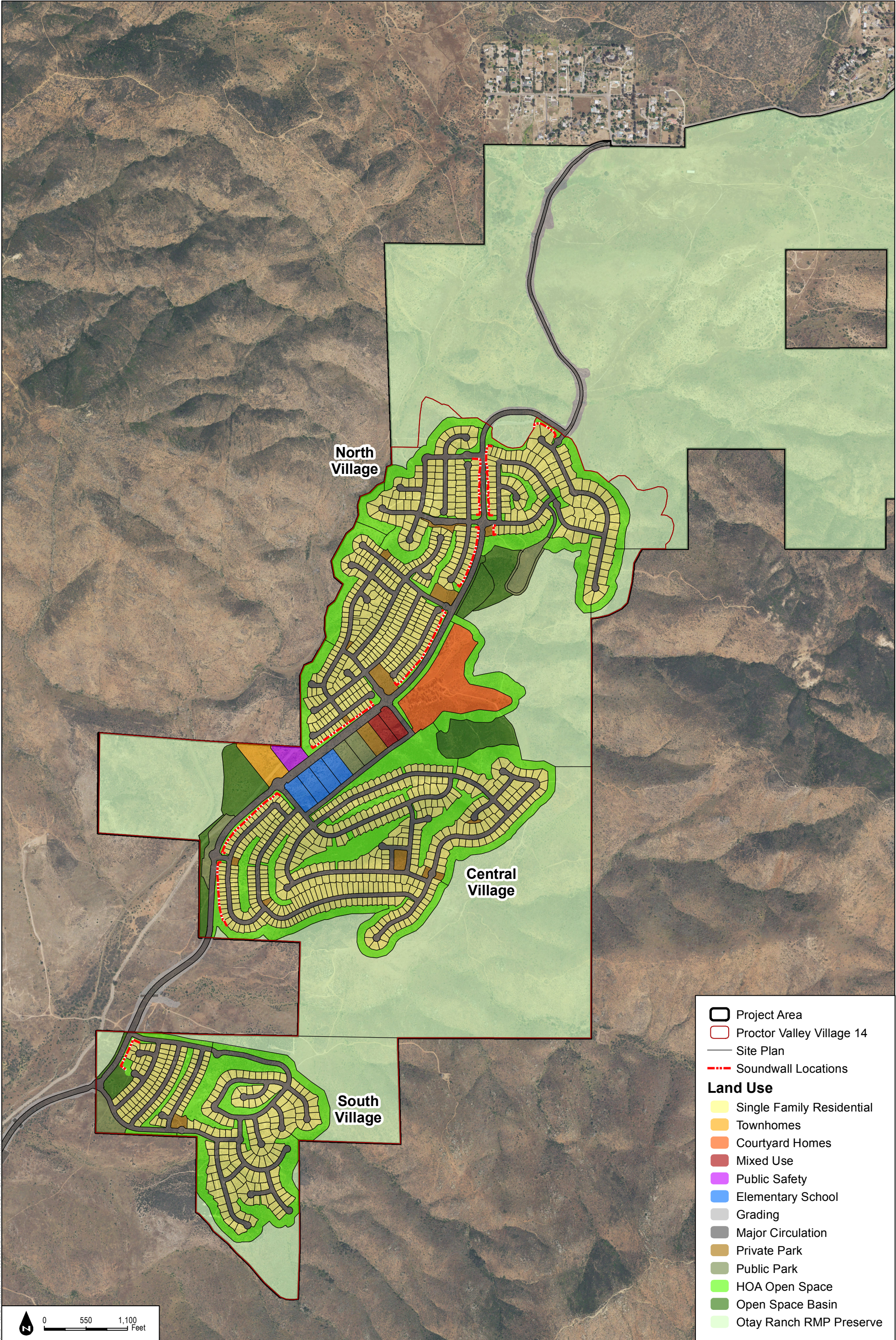
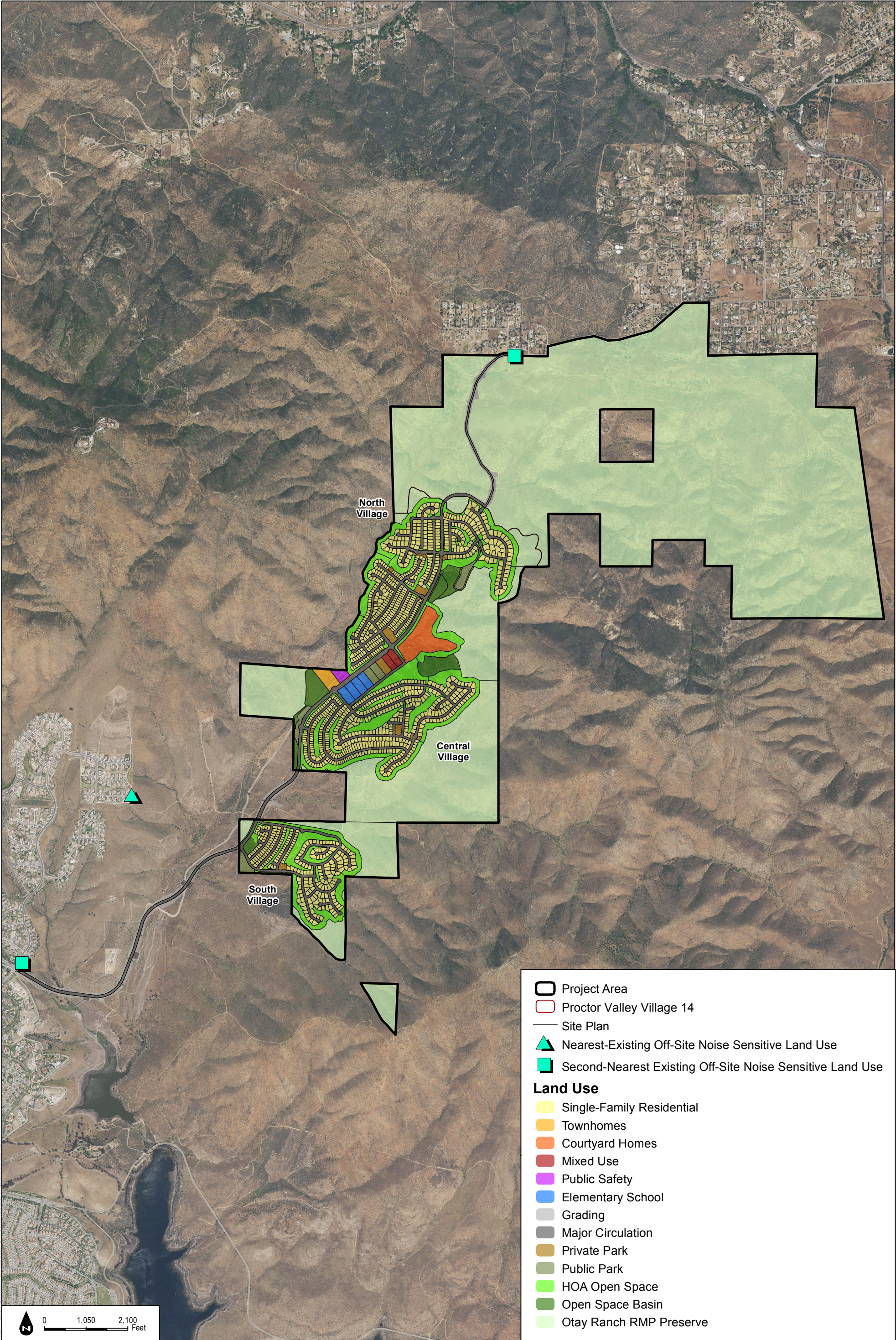


FIGURE 7
Soundwall Locations

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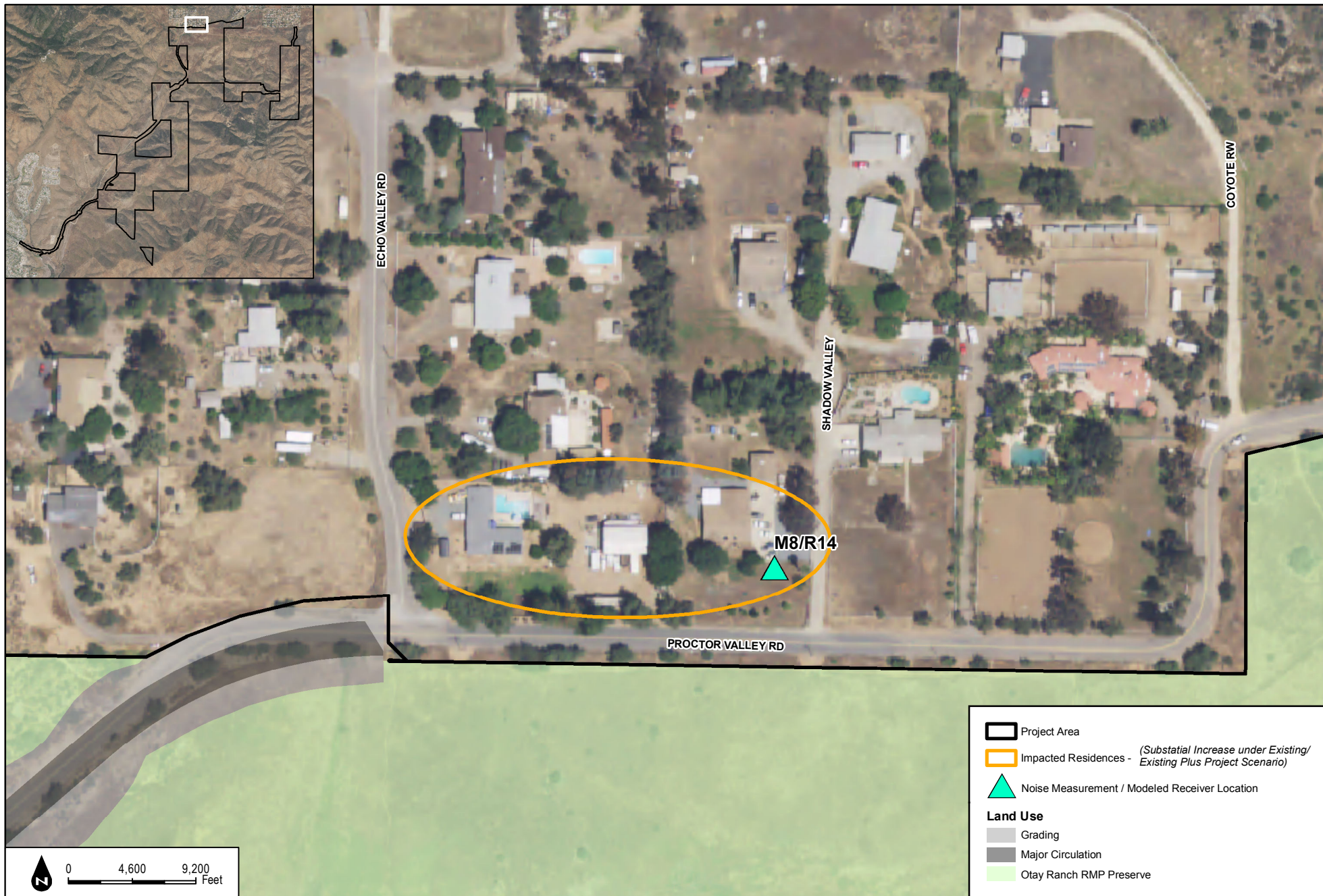
SOURCE: NAIP 2016; Hunsaker 2017

DUDEK

Otay Ranch Village 14 and Planning Areas 16/19 - Land Exchange Alternative

Figure 8
Nearest Existing Off-Site Noise-Sensitive Land Uses

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SOURCE: NAIP 2016; Hunsaker 2017

DUDEK

Otay Ranch Village 14 and Planning Areas 16/19 - Land Exchange Alternative

FIGURE 9
Off-Site Noise Impacts - M8/R14

Acoustical Analysis Report for Otay Ranch Village 14 and Planning Areas 16/19 – Land Exchange EIR Alternative

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